

Ward: Prestwich - Sedgley

Item 03

Applicant: Ms C Miller

Location: 84 Windsor Road, Prestwich, Manchester, M25 0DE

Proposal: Change of use from dwellinghouse (Class C3 (a)) to residential children's home for up to three children (Class C2)

Application Ref: 72816/Full

Target Date: 27/04/2026

Recommendation: Approve with Conditions

Description

The application relates to a detached dwelling located on Windsor Road. The premises has an area of hardstanding to the front that can be utilised for parking. An area of private amenity space is located to the rear. Residential premises are located to the front, side and rear of the site with the Metrolink Tram Line located to the north east side of the site.

Planning permission is sought for the change of use of the existing premises from dwellinghouse (Class C3 (a)) to residential children's home for up to three children (Class C2). No external alterations are proposed. 2no. members of staff are proposed during the day, however if the children's needs are higher there may on occasion be 3 staff. Due to the potential need for additional staff to be required on site a planning application, rather than Lawful Development Certificate has been submitted.

Relevant Planning History

None

Publicity

Letters sent to 9 neighbouring properties 04/03/2026.

Site Notice 06/03/2026

2 objections received in relation to:

- House was previously used for rehabilitation of adults which was terminated after complaints.
- Big problem in the area with anti-social behaviour, which is increased due to the location of the adjacent Tram Stop
- Inappropriate dwelling to use as a children's home.
- Residents would be allowed to have the freedom to go out and meet people.
- Not only is this worrying for residents but additionally poses massive safeguarding risks to the young people in the house.

Objection also received from Councillor Gold in relation to:

- Owing to the requirements for visits by social workers, care workers on shift patterns, care managers and other visitors the additional traffic and parking are not comparable to a typical family home. The increase in an already busy area will have a detrimental effect.
- Bury currently has an additional 400 additional children in care from outside the area on top of the Bury children already being cared for. This is putting an intolerable strain on specialist services and will mean an additional statutory housing responsibility for any

children when they reach 18 which becomes more difficult to meet with every new speculative home being opened in Bury.

- The environment is not ideal, given the area's history of anti-social behaviour, including incidents reported at the entrance to Bowker Vale Metro Station.

Statutory/Non-Statutory Consultations

Traffic Section - No objections raised.

Children's Commissioning Team - No response

Environmental Health - Pollution Control - No comments to make

Waste Management - No response

Greater Manchester Police - designforsecurity - No objection. Raised points for consideration in relation to ensuring there is a robust management plan, commitment to utilising the off street car parking, possible temporary permission of the home and that any future alterations should be Secure by Design standards.

Transport for Greater Manchester (Metrolink) - No comments to make

Pre-start Conditions - Not relevant

Development Plan and Policies

H1/2	Further Housing Development
H2/1	The Form of New Residential Development
H2/2	The Layout of New Residential Development
H2/4	Conversions
CF3	Social Services
CF1/1	Location of New Community Facilities
H4/2	Special Needs Housing
EN1/2	Townscape and Built Design
EN7/2	Noise Pollution
EN7/3	Water Pollution
EN7/5	Waste Water Management
HT2/4	Car Parking and New Development
H3/1	Assessing Non-Conforming Uses
JP-H1	Scale of New Housing Development
JP-H3	Type, Size and Design of New Housing
JP-H4	Density of New Housing
JP-S2	Carbon and Energy
JP-S4	Flood Risk and the Water Environment
JP-P1	Sustainable Places
JP-S5	Clean Air
JP-C2	Digital Connectivity
JP-C5	Streets For All
JP-C6	Walking and Cycling
NPPF	National Planning Policy Framework
SPD13	Conversion of Buildings to Houses in Multiple Occupation
SPD11	Parking Standards in Bury
SPD6	Supplementary Planning Document 6: Alterations & Extensions

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant

policies of both the National Planning Policy Framework (NPPF), the adopted Places for Everyone Joint Development Plan Document (Pfe) and the saved policies within the adopted Bury Unitary Development Plan (UDP), together with other relevant material planning considerations.

The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP and Pfe Policies will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Principle (Use)

The NPPF advocates the objectives to achieve sustainable development, one such objective is to support strong, vibrant and healthy communities by fostering well-designed and safe built environments with accessible services and open spaces that reflect current and future needs and support communities' health, social and cultural well-being.

Chapter 8 - Promoting healthy and safe communities, states that policies and decisions should aim to achieve healthy, inclusive and safe places which, amongst things, promote social interaction, are safe and accessible and enable and support healthy lifestyles. Account should also be taken to support the delivery of local strategies to improve health, social and cultural well-being for all sections of the community.

Policy CF1/1 states that proposals for new and improved community facilities will be considered with regard to the following factors:

- impact on residential amenity and the local environment;
- traffic generation and car parking provision;
- the scale and size of the development;
- where applicable, access to shops and other services;
- if the use is intended to serve a local community, or catchment area, the suitability of the chosen location in relation to that community or catchment area;
- accessibility by public and private transport;
- the needs and requirements of the disabled.

This is supported by Policy CF3 - Social Services, which states that the Council will, where appropriate, consider favourably proposals for the provision of new, and the improvement of existing social services facilities for children, young people, elderly people, people with mental and/or physical handicaps and illnesses, and other groups with special needs.

Policy H3/1 states that the Council will assess proposals for the development of non-confirming uses in primarily residential areas and will not permit proposals considered to be incompatible. Factors which will be taken into account when assessing such proposals will include noise, vibration, smell, fumes, smoke, soot, ash, grit, dust, visual intrusion, traffic generation and parking arrangements, and hours of operation.

Policy H4/2 states that the Council will encourage the provision of special needs housing. Proposals will be assessed with regard to the following factors:
sites should be conveniently located for local shops, public transport and community facilities;

- the location of health care facilities;
- the gradient of the site;
- the gradient between the site and the public transport network;
- the necessary car parking and amenity space (including gardens) should be provided;
- the development should be of a high standard in terms of design, layout and

landscaping so that a satisfactory environment is achieved.

The Places for Everyone Joint Development Plan confirms within their vision for Greater Manchester that they seek to "A place where all children are given the best start in life and young people grow up inspired to exceed expectations."

Policy JP-H3 states development across the plan area should seek to incorporate a range of dwelling types and sizes including for self build and community led building projects to meet local needs and deliver more inclusive neighbourhoods. Where appropriate, this should include incorporating specialist housing for older households and vulnerable people. supports specialist housing for older households and vulnerable people.

This is further supported by PfE Policy JP-P1 that states that all development, where appropriate should be socially inclusive:

- A. Responding to the needs of all parts of society;
- B. Enabling everyone to participate equally and independently;
- C. Providing opportunities for social contact and support; and
- D. Promoting a sense of community.

The proposal relates to a detached, 4no. bed property located within a well established residential area. The proposal seeks to utilise 3 of the existing bedrooms for children, with the fourth bedroom utilised as a staff bedroom/office. The application proposes to provide living accommodation for children in a setting that would be as close to a family environment as practicable. The property would not be required to be extended and permanent residents (i.e. the children) and up to 3no. staff would occupy the dwelling. 2 no. staff would sleep at the property over night in a manner broadly akin to occupation by a family.

The Planning Statement submitted in support of the application confirms that the ranges of the children would be from 8 to 18 years old, although average ages is expected to be around 12 to 16 years and that children would be placed at the property by the Council. The intention is to provide settled placements where children stay for 3 - 4 years, rather than providing an emergency rest bite facility.

The Planning Statement confirms that there would be 2no. members of staff in the day, however if the children's needs are higher there may on occasion be 3 staff. Through the night there would be 1 waking night support and 1 sleep-in member of staff. The sleep-in member would complete a 2 on 4 off shift pattern, on day one working from 10:00 - 23:00 and on day two from 08.00 – 23.00. The waking night member would work from 23.00 – 10.00 each night. A home manager may be present at the property between 09:00 - 17:00 Monday to Friday, although their time would be split between the application property, working from home for two to three days per week and supporting a second home elsewhere.

The Planning Statement confirms that children would be taken to and brought home from school or college by the carer. In specific cases, where mainstream school attendance is not possible due to negative experiences, education would be provided through Virtual Schools. Children would be able to share outings, and would be encouraged and supported to do homework and experience a range of activities, interests and hobbies. All facilities within the property, other than bedrooms would be shared.

In addition to the carers, property visits would include:

- Responsible individual: 1 x visit per month (Average 1 full day visit)
- Regulation 44 inspector: 1 x visit per month (Average 3 hour visit)

- Social worker: 1 x every 6 weeks (average 1 hour visit)
- Ofsted inspectors: 1 x year (2 full days inspection)
- Psychotherapist: 1 x every two weeks (for 3 hours)

It is considered that these property visits would not be over an above the number of visits you would expect for a family dwelling, with friends and family visiting.

Given the above, the proposed use would provide a valuable facility for more vulnerable members of society that would be compliant with the above policies and the principles of the NPPF. The proposed development would be acceptable in principle and would be in accordance with Policies CF1/1, CF3 and H3/1 and H4/2 of the Bury Unitary Development Plan and Policy JP-H3 of the Places for Everyone Joint Development Plan and the NPPF.

Layout and Design

In addition to the policies set out above UDP Policy EN1/2 - Townscape and Built Design seeks to protect the character and townscape of the boroughs towns. PfE Policy JP-P1 Sustainable Places aims to promote a series of beautiful, healthy and varied places.

The proposal would not require any external changes to facilitate the change of use. Given this, the building would continue to have the character and appearance of a passive suburban dwelling and there would be no detrimental impact on the street scene or residential character of the locality.

Given the above, it is considered the proposed development would be in accordance with Policy EN1/2 of the Bury Unitary Development Plan and Policy JP-P1 of the Places for Everyone Joint Development Plan.

Amenity

In addition to UDP Policies H2/4 and H3/1, UDP Policy EN7/2 seeks to restrict development that would lead to an unacceptable noise nuisance to nearby occupiers and/or amenity users.

As discussed above, it is considered that the character and the scale of the use would be consistent with that of a family household occupying the existing 4 bedroom detached dwelling. One of the existing bedrooms would be retained as an office/bedroom for staff members reducing the number of bedrooms at the property to 3. Each child would have their own bedroom and communal spaces (e.g. kitchen/dining room/lounge) would be shared between occupants. No new habitable room windows would be proposed following the change of use of the property.

Households can take many forms and the current dwelling could be occupied by a family of up to around 5 individuals. Furthermore, without planning permission, the dwelling could be utilised as a house in multiple occupation for up to 6 occupants.

The dwelling is detached, which would reduce the immediate noise from, and indeed to the future occupants. Occupants would engage in activities as any child would when occupying the dwelling as a family home.

Given such circumstances, and the potential alternative iterations for occupation of the dwelling, it is not considered that the proposed change of use of the dwelling would have a significantly greater impact upon neighbouring amenity in terms of noise and disturbance. It is therefore considered that the proposal would not conflict with the character of the area or have an adverse impact on the amenity of local residents in compliance with the Policy considerations set out above.

Access

Policy EN1/2 requires the consideration of the design and appearance of access, parking and service provision. PfE Policies JP-C5 and JP-C6 require streets to be well designed and managed to make a significant positive contribution to the quality of place and support high levels of walking, cycling and public transport. Policy JP-C8 requires new development to be located and designed to enable and encourage walking, cycling and public transport use and to reduce the negative effects of car dependency.

Access to the property would remain as existing, with 3no. parking spaces at the front and steps to and from the main front access door. It should also be noted that the site is located within a highly sustainable area, walking distance to the Bowker Vale Tram Station and Windsor Road Neighbourhood Shopping Centre.

Parking

PfE Policy JP-C8 and UDP Policy HT2/4 requires all applications for development to make adequate provision for their car parking and servicing requirements. Supplementary Planning Document (SPD) 11 provides parking standards for developments.

The site is located within Zone 3 for parking. Within this Zone SPD 11 would require 1 space per 2 staff and 1 space per 4 beds. For a maximum of 5 staff (3 day shift and 2 night shift at handover) and 3 beds, this would lead to a requirement to provide approximately 3no. spaces which can be accommodated at the site.

Carbon and Energy

PfE Policy sets out the steps required to achieve net zero carbon emissions.

The proposal would utilise an existing building. Energy demand is minimised through the utilisation of pre-existing services, structure, and spatial configurations.

Digital Connectivity

PfE Policy JP-C2 requires development to have full fibre to premises connections unless infeasible or unviable, with multiple-ducting. The policy supports the provision of free, secure, high-speed public wi-fi connections, particularly in the most frequented areas.

Full fibre is available within the area in which the site is located if it is required.

Biodiversity Net Gain

While every grant of planning permission in England is deemed to have been granted subject to the biodiversity gain condition, commencement and transitional arrangements, as well as exemptions, mean that certain permissions are not subject to biodiversity net gain.

The proposed change of use would occupy an existing building and therefore the de-minimis exemption applies.

Response to Representations

Many matters raised in objections are not material to the assessment and determination of the planning application. It is considered that the material planning considerations have been assessed within the body of the report.

Children in care homes come from a wide range of backgrounds and experiencing a range of issues. With the proper safeguarding procedures in place, regulated by Ofsted and Children's services, it would be unreasonable to assume the children occupying the property would be more liable to partake in or be victims of anti-social behaviour than a family occupying the same property. Whilst the concerns about the proposed care home

amongst residents are recognised to a point, the proposal has to be assessed on policies and material considerations.

Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015

The proposal complies with the development plan and would improve the economic, social and environmental conditions of the area. It therefore comprises sustainable development and the Local Planning Authority worked proactively and positively to issue the decision without delay. The Local Planning Authority has therefore implemented the requirement in Paragraph 38 of the National Planning Policy Framework.

Recommendation: Approve with Conditions

Conditions/ Reasons

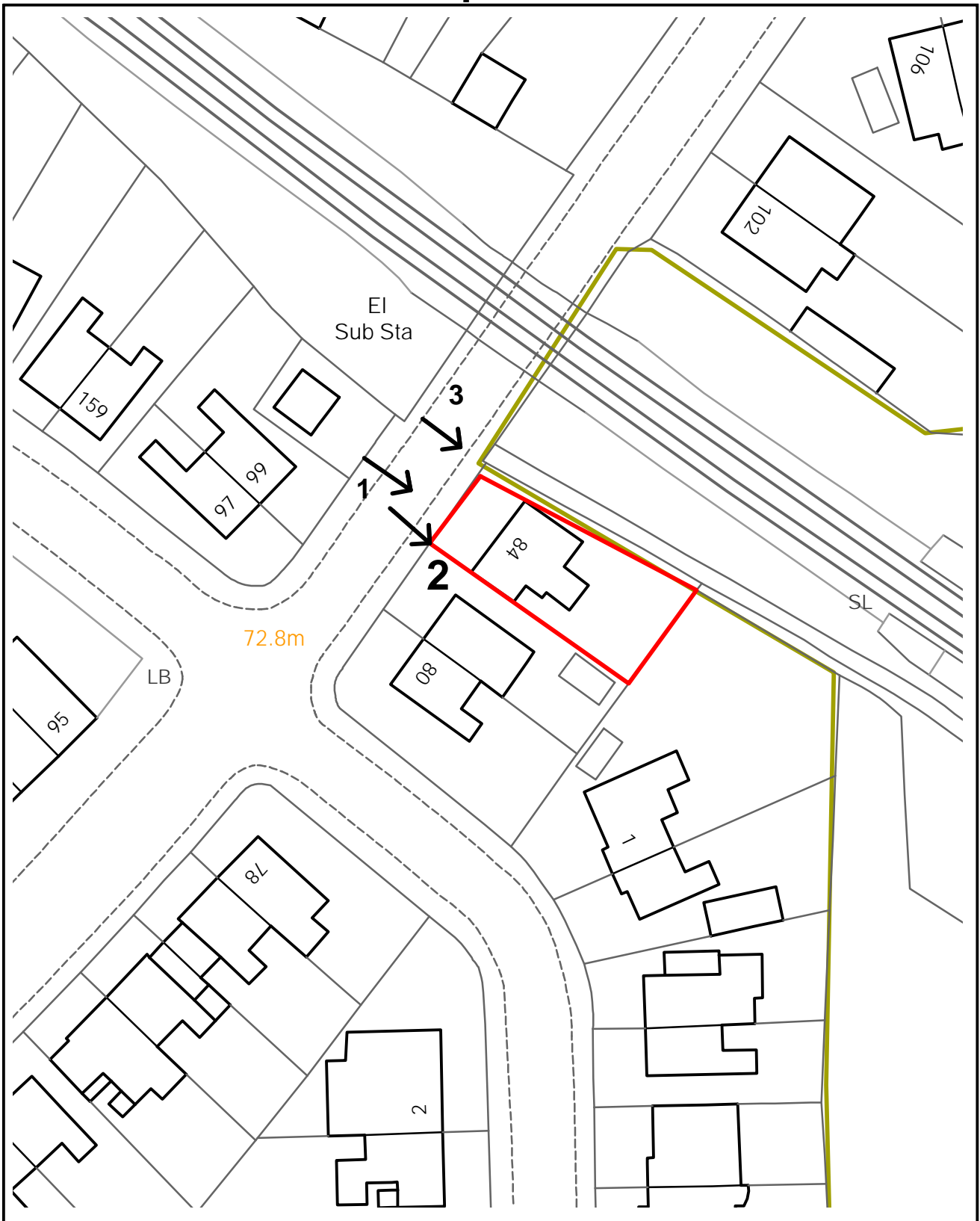
1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered Site location plan, 001, 002, 010, 011 A and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan and Places for Everyone Joint Development Plan listed.
3. The premises to which this approval relates shall be used for residential care only to a maximum of 3no. children/young persons and for no other purpose (including any other purpose in Class C2 of the Schedule to the Town and Country Planning (Use Classes) Order 1987 (or in any provision equivalent to that class in any statutory instrument revoking or re-enacting that Order with or without modification).
Reason. To ensure the intensification and scale of uses in the property does not extend beyond acceptable levels which could cause impact to residential amenity and highway safety in respect of the associated parking, access and servicing requirements or general activity and disturbance pursuant to policies EN1/2 - Townscape and Built Design, CF3 - Social Services, H4/2 - Special Needs Housing, HT2/4 - Car Parking and New Development, JP-P1 - Sustainable Places, JP-C5 Streets for All, JP-C6 -Walking and Cycling and JP-C8 - Transport Requirements of New Development.
4. The bin storage facilities indicated on approved drawing referenced 010 shall comply with Waste Management's 'Guide to Refuse Collection Requirements & Storage Methods for New Developments' and be made available prior to the use hereby approved commencing and maintained thereafter.
Reason. To ensure that adequate bin storage arrangements are provided within the curtilage of the site pursuant to Development Plan Policies CF1/1 - Location of New Community Facilities, H4/2 - Special Needs Housing, EN1/2 - Townscape and Built Design, JP-C5 - Streets for All and JP-C6 - Walking and Cycling.
5. Notwithstanding the details shown on the approved drawing 010 covered cycle storage shall be provided, within the curtilage of the site for 1no. cycle. This spaces shall be made available prior to the use hereby approved being brought

into use and thereafter maintained at all times.

Reason. To ensure adequate off street cycle parking provision in the interests of road safety pursuant to Development Plan Policies EN1/2 - Townscape and Built Design, JP-C5 - Streets for All, JP-C6 - Walking and Cycling, JP-C8 - Transport Requirements of New Development, HT2/4 - Car Parking and New Development and Supplementary Planning Document 11: Parking Standards in Bury.

For further information on the application please contact **Jennie Townsend** on **0161 253-5320**

Viewpoints



72816

ADDRESS: **84 Windsor Road
Prestwich**



Bury
Council

Planning, Environmental and Regulatory Services

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72816

Photo 1



Photo 2



72816

Photo 3



Location Plan

Site Address: 84, Windsor Road, Prestwich, M25 0DE

Date Produced: 05-Feb-2026

Scale: 1:1250 @A4



Planning Portal Reference: PP-14332358v1



General Notes:

All levels and dimensions to be checked on site by contractor prior to commencement.

Any variations / anomalies to be reported to Hunter & Belle Ltd. Do not scale from this drawing use figured dimensions only. All work shown on this drawing to be carried out in accordance with current British Standards and Codes of Practice.

Proposed Materials:

Walls	All existing elevation materials and finishes to be retained
Roof	All existing roofing materials and finishes to be retained
Windows & Doors	All existing windows and doors to be retained



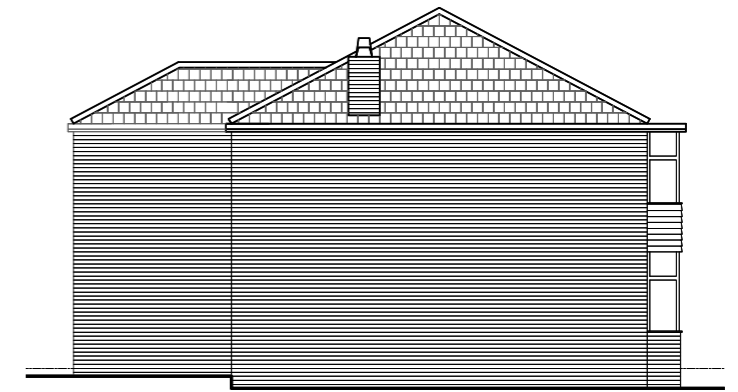
PROPOSED FRONT ELEVATION



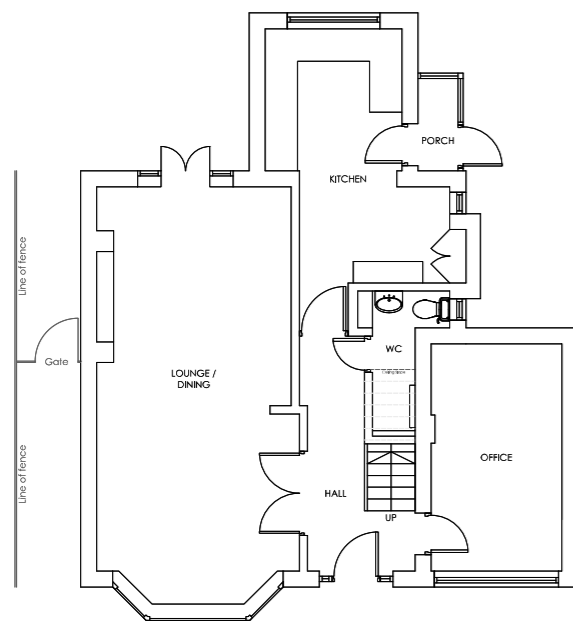
PROPOSED SIDE (SOUTH) ELEVATION



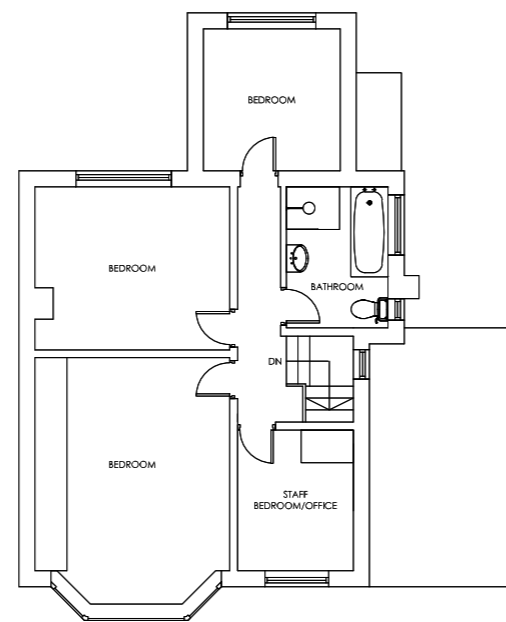
PROPOSED REAR ELEVATION



PROPOSED SIDE (NORTH) ELEVATION



PROPOSED GROUND FLOOR PLAN



PROPOSED 1st FLOOR PLAN

Rev:	A	Date:	24.02.26	Description:	Elevation labels amended
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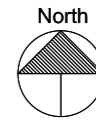
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Project:	84 Windsor Road, Prestwich		
Project No:	190	Drawing No:	011
Rev:			A
Description:	Proposed Plans & Elevations		

Scale: 1:100 @ A2 Date Drawn: 01.08.25



Unit 6, Withyfold Trading Estate
Withyfold Drive
Macclesfield
Cheshire SK10 2ZR
T: 01625 921 932

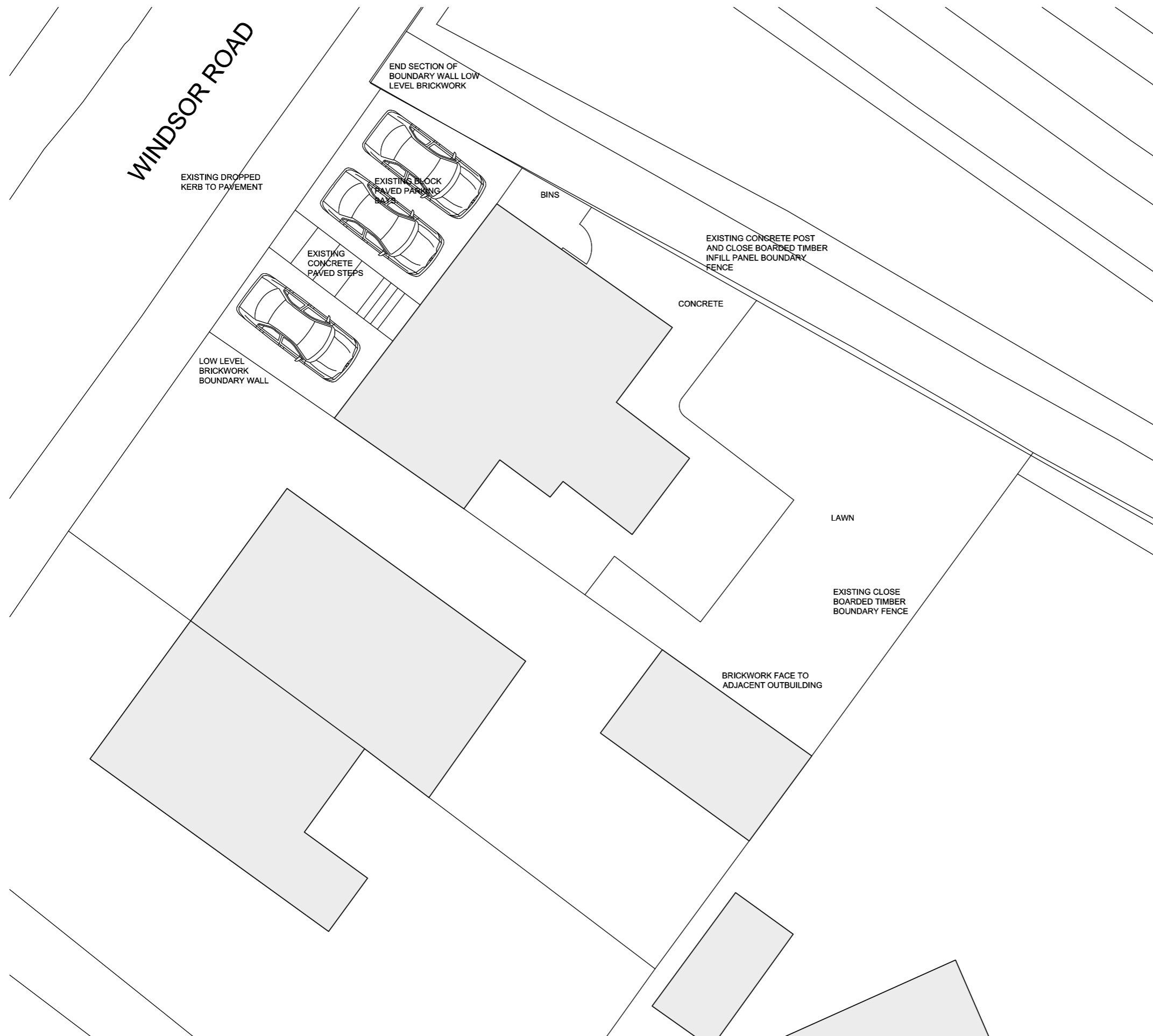
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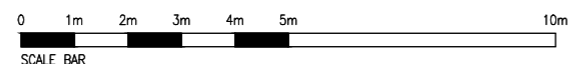
General Notes:

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PROPOSED SITE BLOCK PLAN
1:100



Rev:	Date:	Description:

Client:	VS Property Group		
Project:	84 Windsor Road, Prestwich		
Project No:	Drawing No:	Rev:	
190	010		
Description: Proposed Site Plan			

Scale: **1:100 @ A2** Date Drawn: **01.08.25**

HUNTERBELLE <small>Architecture • interior design</small>		Unit 6, Wilyfold Trading Estate Wilyfold Drive Macclesfield Cheshire SK10 2ZR T: 01625 921 932
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Purpose of Issue:					
Planning	Building Regs	Tender	Comment	Approval	Construction
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General Notes:

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Existing Materials:

Walls	Fairfaced brickwork
Roof	Concrete plain tile with black UPVC rainwater goods
Windows & Doors	White / grey UPVC



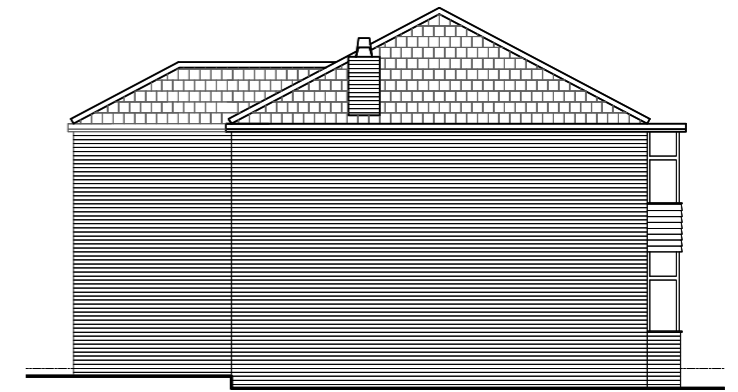
EXISTING FRONT ELEVATION



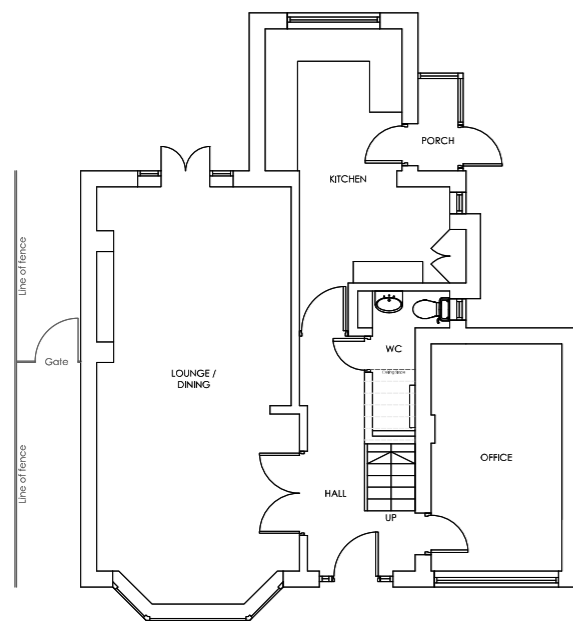
EXISTING SIDE (SOUTH) ELEVATION



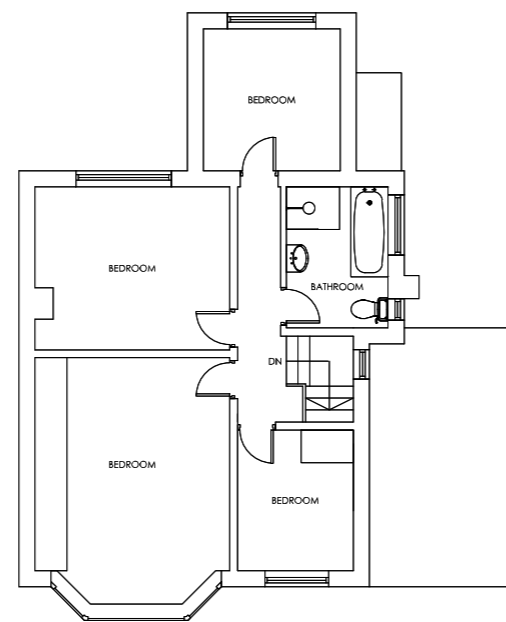
EXISTING REAR ELEVATION



EXISTING SIDE (NORTH) ELEVATION



EXISTING GROUND FLOOR PLAN



EXISTING 1st FLOOR PLAN

Rev:	Date:	Description:

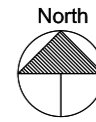
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Project:	84 Windsor Road, Prestwich		
Project No:	Drawing No:	Rev:	
190	002		
Description: Existing Plans & Elevations			

Scale: 1:100 @ A2 Date Drawn: 01.08.25



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T: 01625 921 932

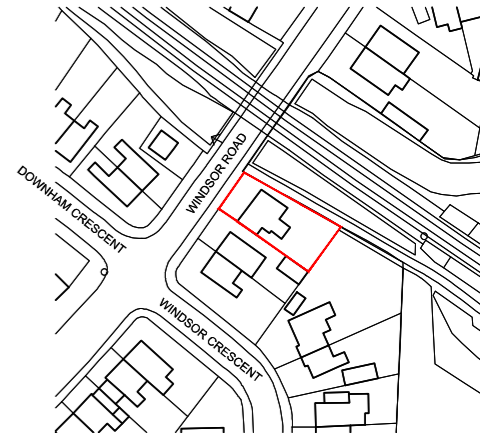
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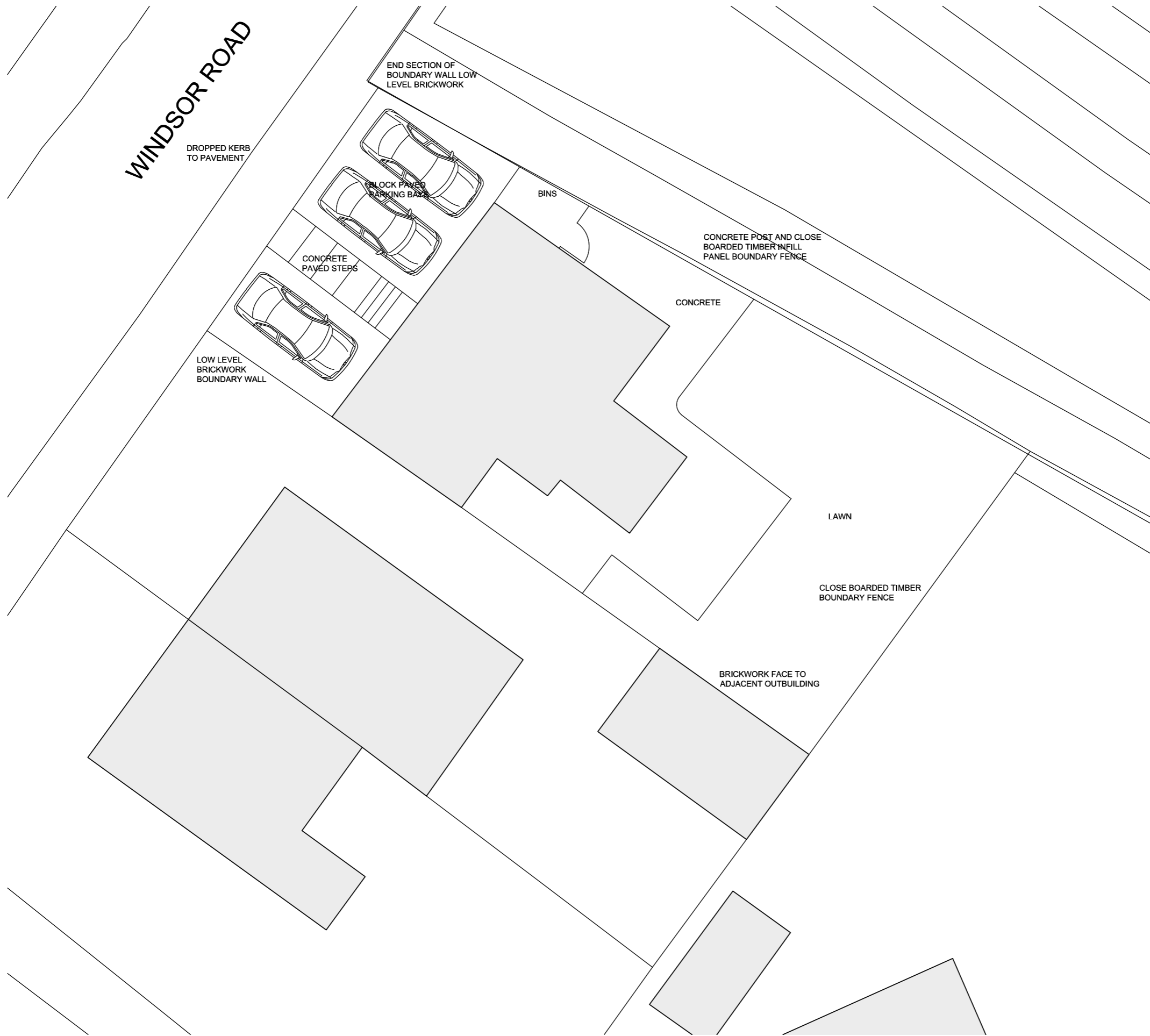
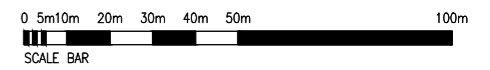
General Notes:

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SITE LOCATION PLAN
1:100



WINDSOR ROAD

DROPPED KERB TO PAVEMENT

END SECTION OF BOUNDARY WALL LOW LEVEL BRICKWORK

BLOCK PAVED PARKING BAY

BINS

CONCRETE POST AND CLOSE BOARDED TIMBER NEILL PANEL BOUNDARY FENCE

CONCRETE PAVED STEPS

CONCRETE

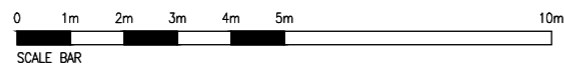
LOW LEVEL BRICKWORK BOUNDARY WALL

LAWN

CLOSE BOARDED TIMBER BOUNDARY FENCE

BRICKWORK FACE TO ADJACENT OUTBUILDING

EXISTING SITE BLOCK PLAN
1:100



Rev:	Date:	Description:

Client:	VS Property Group		
Project:	84 Windsor Road, Prestwich		
Project No:	Drawing No:	Rev:	
190	001		
Description: Existing Site Plans			

Scale: **varies @ A2** Date Drawn: **01.08.25**

Unit 6, Wiltfold Trading Estate
Wiltfold Drive
Macclesfield
Cheshire SK10 2ZR
T: 01625 921 932

Purpose of Issue:	Planning	Building Regs	Tender	Comment	Approval	Construction
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